

54 Margaret Ave

“ The house with the turret...”



HISTORY IS A MYSTERY

Name of recorder Mrs. Wendy Collishaw Date July 1978

Name of photographer Mrs. Wendy Collishaw Date July 1978

ONTARIO INVENTORY OF BUILDINGS

Identity: County Waterloo
Number, street, town or lot, 54 Margaret
Concession, township. Kitchener
lot 192 plan 374
Name of Building

History: Date of Construction 1880

Original Owner Louis Rau
Original Use residence

Present Owner G. McLeod
Present Use residence

HISTORIC BUILDINGS INVENTORY

1. Municipal Address: 54 Margaret Avenue
Kitchener, Ontario
2. Lot and Plan: Part lot 192; plan 374
3. Present Owner: Jeremy L. Smith
54 Margaret Avenue
Kitchener, Ontario
N2H 4H2
4. Present Use: Residence

Historical Information

1. Date Constructed: c. 1904
2. Original Owner: Herbert Bowman
3. Original Use: Residence

In his Reminisces, Alex O. Potter recalls how his neighbours,
"...the Herbert Bowman's ...soon moved to a new house they
built on Margaret Avenue (now occupied by Mr. and Mrs. Charles

A significant heritage resource

From "Busy Berlin" pub. 1901

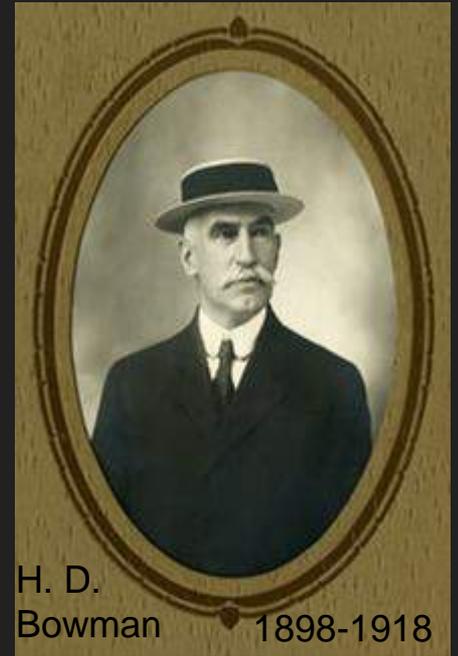


RESIDENCE OF D. BOWMAN,

1885-1898



Louis J. Breithaupt, Mayor
1888-9.



H. D.
Bowman 1898-1918

This is our long term home



Kitchener has a bright future:

- not opposed to develop
- urban core should intensify...
- important to our honour heritage.



The proposed development at 30-40 Margaret will adversely impact our heritage home at 54 Margaret:

- Shadowing
- Isolation
- Obstruction

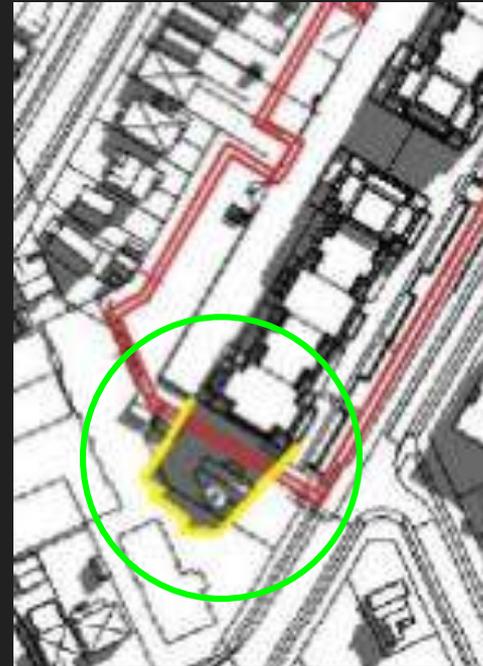
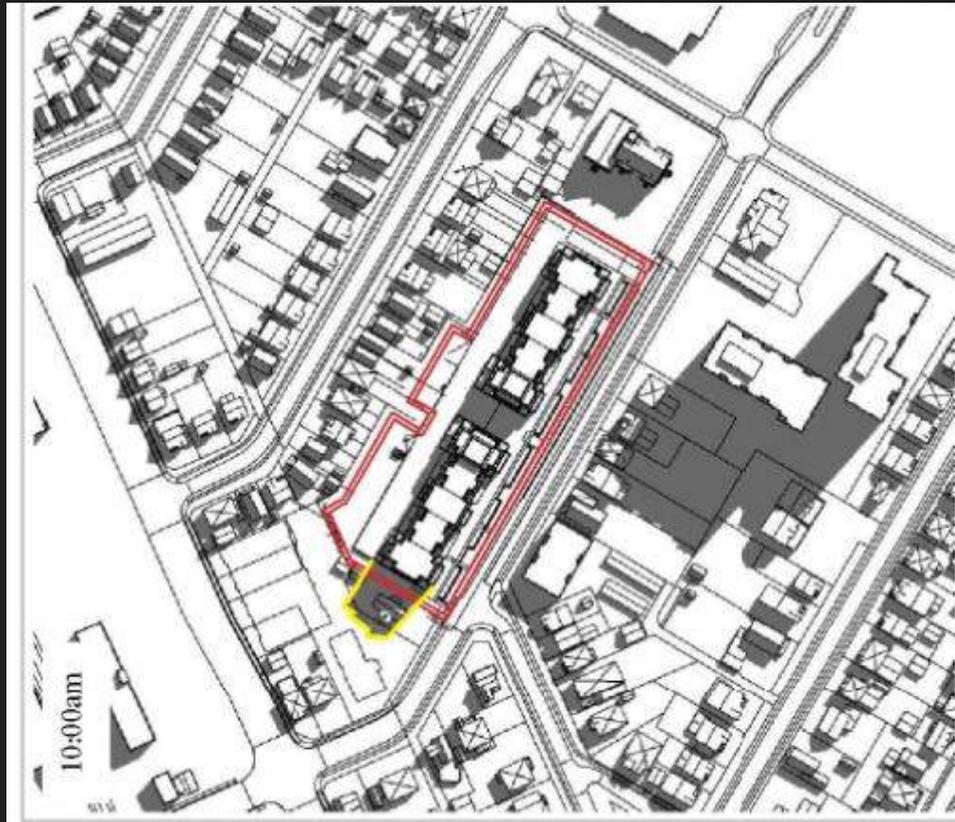
The impact on our home is NOT negligible.

But there are solutions.

Shadowing

- Shadowing clearly impacts the majority of our property, including the front of the house all morning in the spring, fall and especially winter months
- **Not negligible**

Spring – 10am



Fall – 10am



Winter – 10am



Isolation

- Our home at 54 Margaret will be isolated by the development as currently proposed.
 - Physical separation from our surrounding neighbourhood and neighbours
 - The heritage context along the north side of Margaret will potentially be lost
- The isolation threat is doubled to our home by the other proposed development at 64 Margaret
- **Not negligible**

Obstruction

- 54 Margaret and its exceptional character will be obstructed from view on the street. In winter, significant cultural attributes are clearly visible when looking west along Margaret
- This westerly view of our home greatly adds to the character of the neighbourhood's heritage climate.
- **Not negligible**

POSSIBLE SOLUTIONS

1. Setbacks
2. Stepbacks
3. Daylight corner
4. Rearrange the 'blocks'



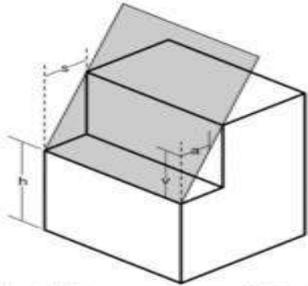
Setbacks

- By moving the proposed building back 2-3m from Margaret Ave the setback will:
 - Help preserve our home's prominent street character
 - Help preserve sense of place in the heritage district
 - Reduce isolation of our house.
- This solution must not impose on setbacks to the Ellen St. properties...

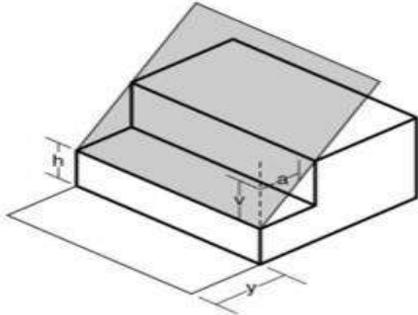
Stepbacks

- Side stepbacks are a viable solution for shadowing issues
- Allow more sun to reach our house earlier in the day
- Decrease the perception of height – reduces our isolation

1



2

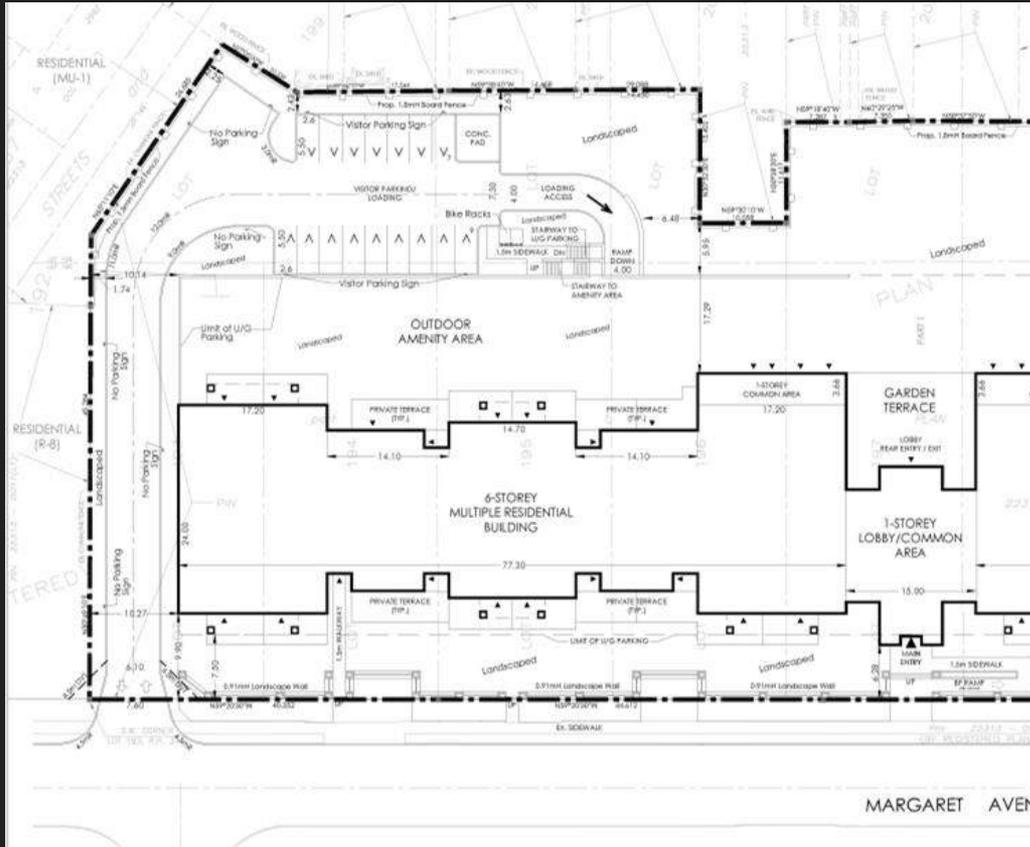


Daylight corners

- Make the building feel less imposing
- Give 54 Margaret a bit more space to breathe
- Would provide a **vintage** look to the new development

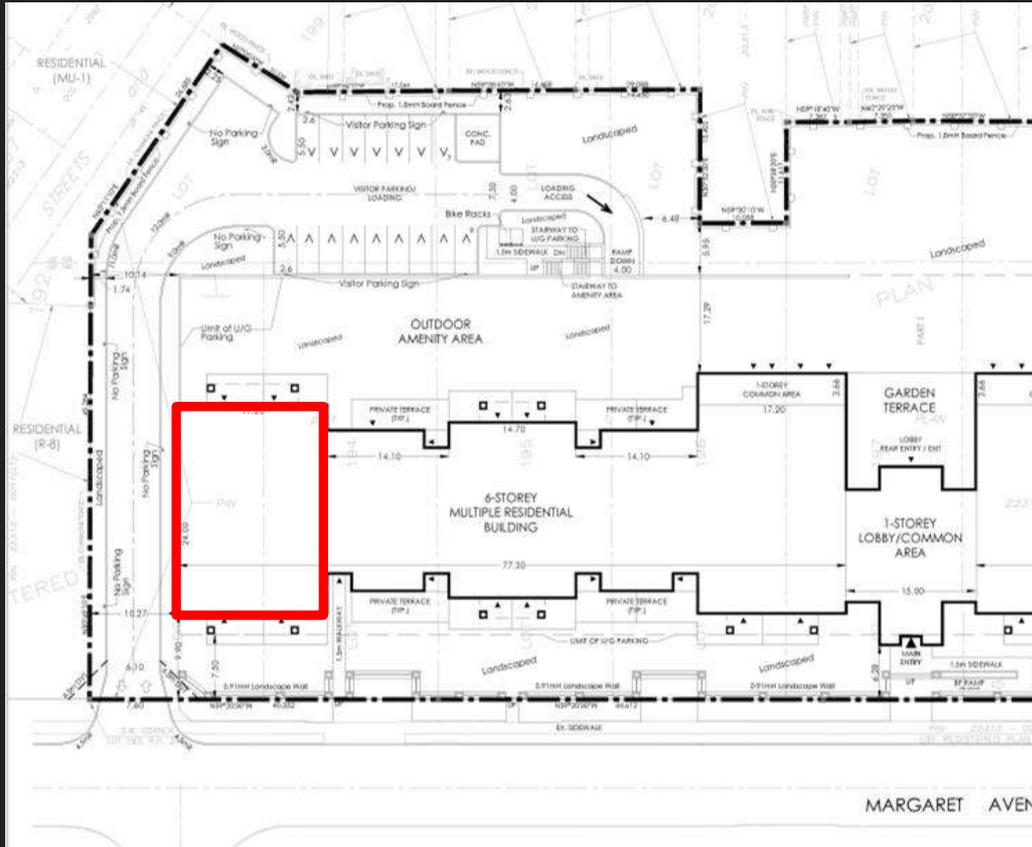


Taper the massing



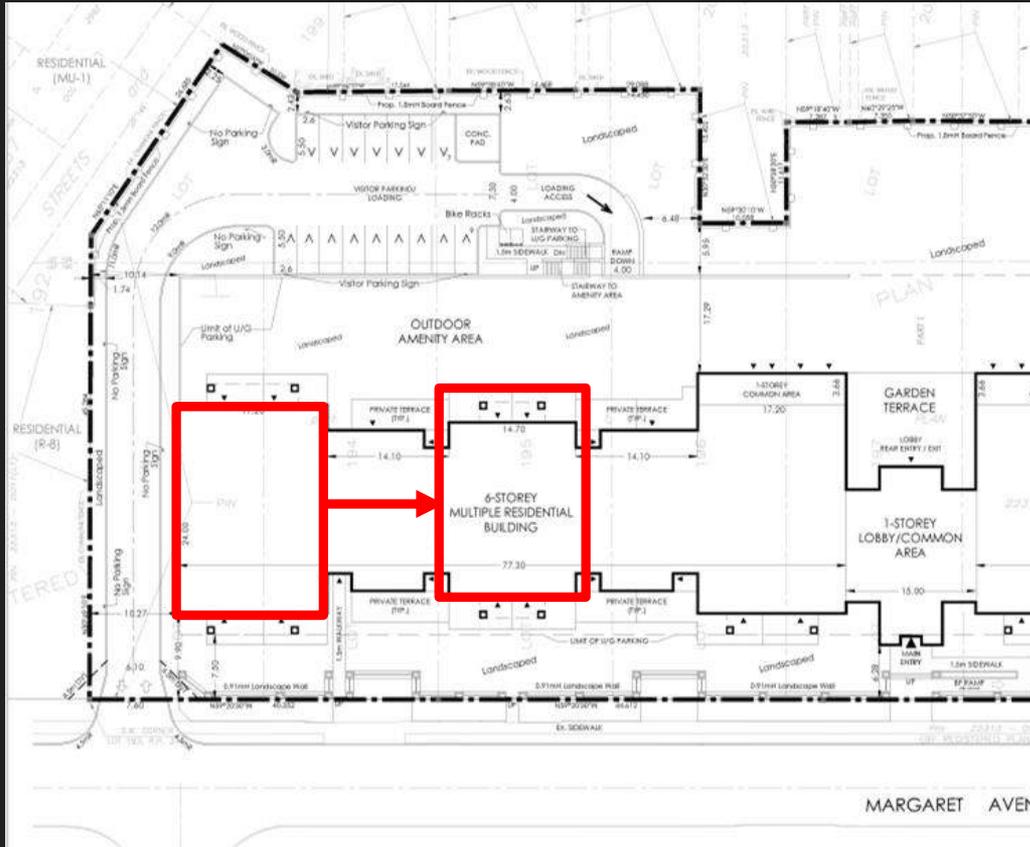
- Rearrange the blocks:

Taper the massing



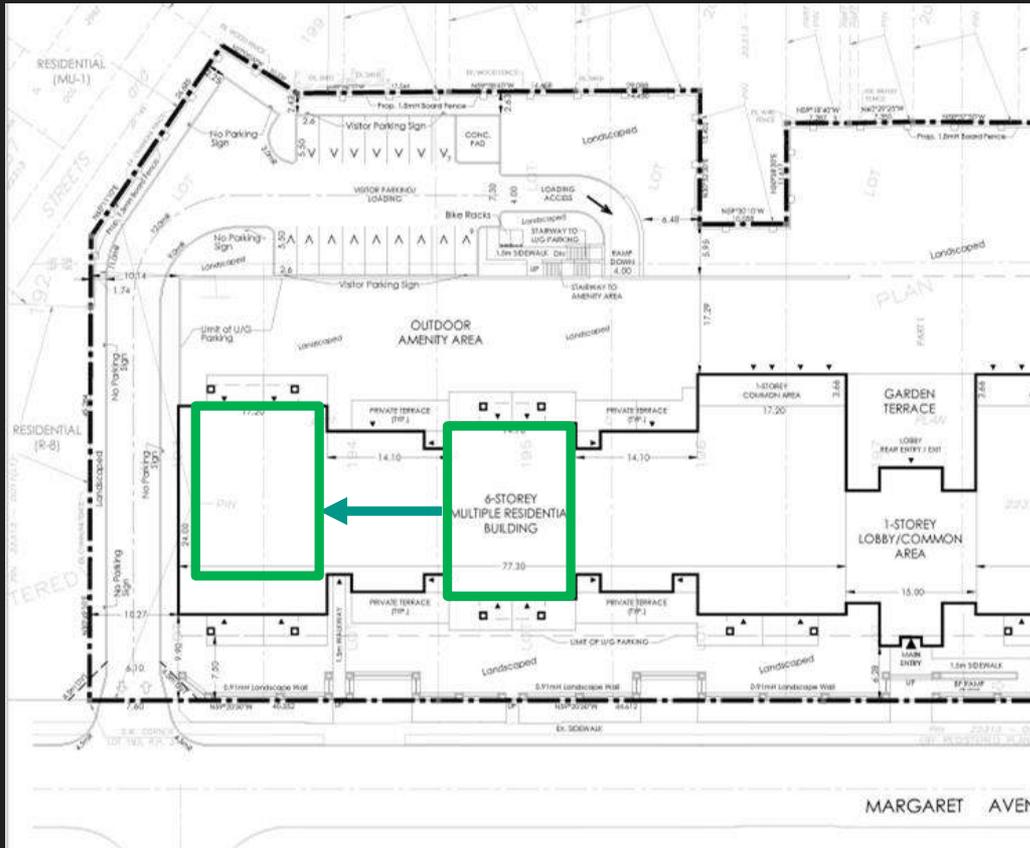
- Rearrange the blocks:
- **Move the bigger block to middle**

Taper the massing



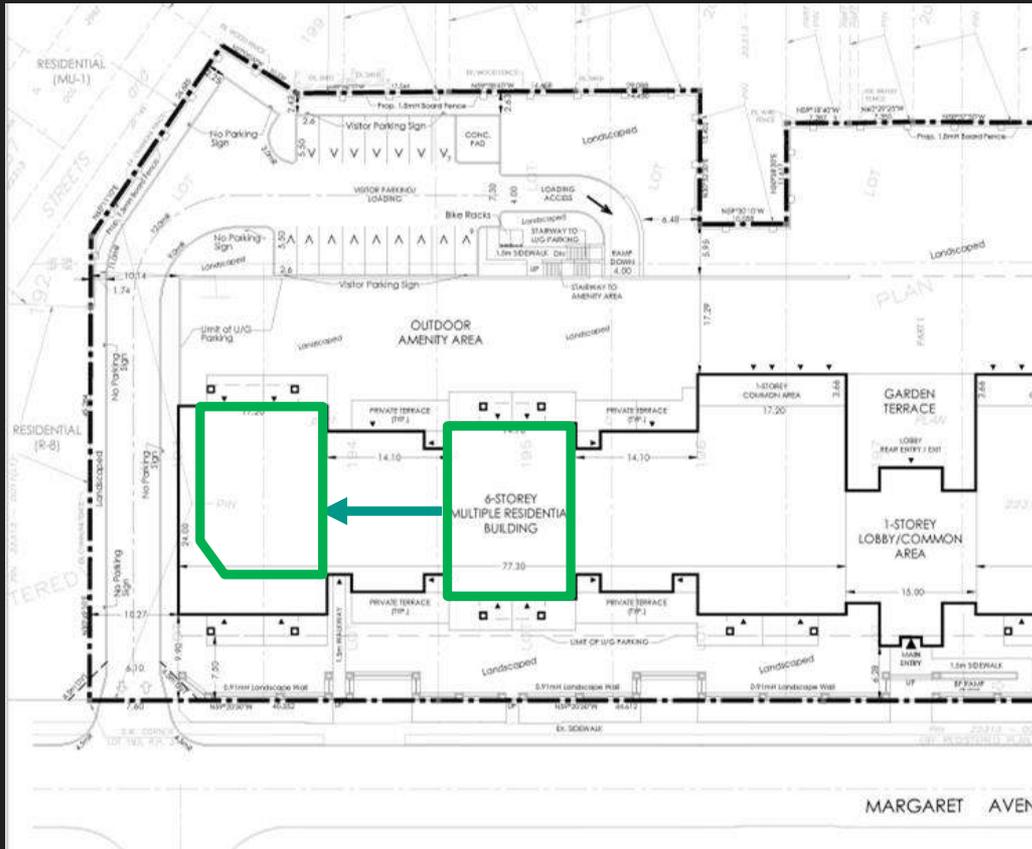
- Rearrange the blocks:
- **Move the bigger block to middle**

Taper the massing to the middle



- Rearrange the blocks:
- Move the bigger block to middle
- Move the smaller block to the end

Taper the massing to the middle



- Rearrange the blocks:
- Move the bigger block to middle
- Move the smaller block to the end
- Add a daylight corner

Summary

We are proud of our home. It is an important heritage resource for our neighbourhood and the city of Kitchener

The proposed development offers an exceptional opportunity for our neighbourhood

We believe that with a few changes, the proposed development will meet the standards and guidelines expected of developments in our Heritage Conservation District

It is important that we all take steps and abide by the requirements/guidelines outlined in the CCNHCDP

We are doing our part as owners of a heritage home to maintain its value and character and we expect the city and the developer to do no less.



Thank You